

PROPERTY INSPECTION REPORT FOR

277 Highland View Dr



Joel Rossmann

AL # HI-4687

Bama Home Inspections llc

Inspection Address:

277 Highland View Dr

Inspection Prepared For:

John Smith

Date of Inspection: 3/10/2025

Home Age: 4

Home Size: 1730

Weather: 40° Mostley cloudy

Report Introduction

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report if you have any questions. Remember, when the inspection is completed and the report is delivered, we are still available for any questions you may have.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current code. This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.

Video In Your Report -The inspector may have included videos of issues within the report. If you are opening the PDF version of the report make sure you are viewing the PDF in the free Adobe Reader PDF program. If you're viewing the report as a web page the videos will play in any browser. Click on any video within the report to start playing.

Throughout the report we utilize icons to make things easier to find and read. Use the legend below to understand each rating icon.



Acceptable - This item was inspected and is in acceptable condition for it's age and use.



Repair/Replace - Items with this rating should be examined by a professional and be repaired or replaced.



None - Items with this rating was not present during the inspection.



Monitor - Items with this rating should be monitored periodically to ensure that the issue hasn't become worse, warranting a repair or replacement.



Not Accessible - Items with this rating were not able to be fully inspected because access was blocked off or covered.

Our report contains a unique pop-up glossary feature. When you see words **highlighted in yellow** hover your mouse over the term. The definition or a tip about the item will appear!

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Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Bedroom 3		
Page 12 Item: 11	Ceiling Condition	<ul style="list-style-type: none"> • Small stains noted on the ceiling. They tested dry at the time of the inspection. • Evidence of past leaking was noted. • Water spot was tested by moisture meter, and read dry.
Bedroom 2		
Page 14 Item: 10	Window Condition	<ul style="list-style-type: none"> • Window blocked by furniture.
Master Bathroom		
Page 15 Item: 2	Cabinets	<ul style="list-style-type: none"> • Cabinet doors missing knobs or handles.
1/2 Bath		
Page 18 Item: 2	Cabinets	<ul style="list-style-type: none"> • No knobs or handles on cabinet door.
Page 19 Item: 13	Toilets	<ul style="list-style-type: none"> • Toilet seat cover loose; recommend tightening.
Bathroom 2		
Page 20 Item: 2	Cabinets	<ul style="list-style-type: none"> • No knobs or handles on cabinet doors.
Page 21 Item: 17	Toilets	<ul style="list-style-type: none"> • Toilet seat cover loose; recommend tightening.
Kitchen		
Page 23 Item: 1	Cabinets	<ul style="list-style-type: none"> • Cabinet doors missing knobs, consult with seller on repair/ replacement options. • Drawer next to fridge crooked. • Drawer next to refrigerator is crooked.
Page 25 Item: 18	Electrical	<ul style="list-style-type: none"> • Outlets under kitchen sink should be GFCI in case of water contact. • Refrigerator lite is not working.
Page 25 Item: 19	GFCI	<ul style="list-style-type: none"> • No GFCI protection present under kitchen sink, suggest installing GFCI protected receptacles for safety.
Laundry		
Page 26 Item: 5	Electrical	<ul style="list-style-type: none"> • GFCI outlets should be used in laundry room.
Page 26 Item: 6	GFCI	<ul style="list-style-type: none"> • The laundry receptacle should be GFCI protected type.
Electrical		
Page 30 Item: 1	Electrical Panel	<ul style="list-style-type: none"> • Electrical panel should not have anything in front of it.
Roof		
Page 32 Item: 6	Gutter	<ul style="list-style-type: none"> • Down spout on right side of house should extend at least 3 feet from home, so water does not seep into foundation.

Attic 1		
Page 34 Item: 1	Access	• Attic light located just inside access.
Page 35 Item: 4	Ventilation	• Soffit vent baffles should be bigger for proper ventilation in attic.
Page 35 Item: 7	Electrical	• Most areas not accessible due to insulation.
Electrical		
Page 38 Item: 1	Service Drop	• GFCI outlet on right side of house next to the  Unit not working properly.
Grounds		
Page 42 Item: 5	Vegetation	• Possible ant hill against house. Has a Pest Control Expert to evaluate.
Home Exterior		
Page 44 Item: 3	Siding Condition	• Bad patch job on rear right side of home.
Garage		
Page 46 Item: 1	Walls	• Lip at front of garage. Possible trip hazard.



Inspection Details

1. Attendance

In Attendance: No other parties present at inspection.

2. Home Type

Home Type: Single Family Home

3. Occupancy

Occupancy: Occupied - Furnished • Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

4. Weather

49°
Mostly cloudy



Den / Office

The Interior section covers areas of the house that are not considered part of the Bathrooms, Bedrooms, Kitchen or areas covered elsewhere in the report. Interior areas usually consist of hallways, foyer, and other open areas. Within these areas the inspector is performing a visual inspection and will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas on the interior.

The inspector does not usually test for mold or other hazardous materials. A qualified expert should be consulted if you would like further testing.

1. Location

Accept able	Monito r	None	Repair/ Replac e	No Access
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Materials: Upstairs between Master bedroom and bedroom's 2 and 3.

X				
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2. Ceiling Fans

Accept able	Monito r	None	Repair/ Replac e	No Access
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Observations:

- Operated normally when tested, at time of inspection.

X				
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3. Closets

Accept able	Monito r	None	Repair/ Replac e	No Access
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Observations:

- The closet is in serviceable condition.

X				
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4. Doors

Accept able	Monito r	None	Repair/ Replac e	No Access
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		X		
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5. Electrical

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

Observations:

- Some outlets not accessible due to furniture and or stored personal items.

X				
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6. Smoke Detectors

Accept able	Monito r	None	Repair/ Replac e	No Access
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X				
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7. Window-Wall AC or Heat

Accept able	Monito r	None	Repair/ Replac e	No Access
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		X		
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8. Ceiling Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

Materials: There are drywall ceilings noted.

X				
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9. Wall Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
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Materials: Drywall walls noted.

X				
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10. Window Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
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		X		
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Master Bedroom

The main area of inspection in the bedrooms is the structural system. This means that all walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Personal items in the bedroom may prevent all areas to be inspected as the inspector will not move personal items.

1. Locations

Locations: Upstairs front of home.

2. Cabinets

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

3. Ceiling Fans

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Operated normally when tested, at time of inspection.

4. Closets

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- The closet is in serviceable condition.

5. Doors

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

6. Electrical

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Some outlets not accessible due to furniture and or stored personal items.

7. Floor Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Flooring Types: Carpet is noted.

8. Smoke Detectors

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

9. Wall Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

Materials: Drywall walls noted.

X				
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10. Window Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
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Materials: Vinyl framed double hung window noted.

X				
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11. Ceiling Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

Materials: There are drywall ceilings noted.

X				
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Bedroom 3

1. Locations

Locations: Upstairs rear right side of home.

2. Cabinets

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

3. Ceiling Fans

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Operated normally when tested, at time of inspection.

4. Closets

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- The closet is in serviceable condition.

5. Doors

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

6. Electrical

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

7. Floor Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Flooring Types: Carpet is noted.

8. Smoke Detectors

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

9. Wall Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Materials: Drywall walls noted.

10. Window Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

X				
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Materials: Vinyl framed double hung window noted.

11. Ceiling Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

			X	
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Materials: There are drywall ceilings noted.

Observations:

- Water spot was tested by moisture meter, and read dry.
- Small stains noted on the ceiling. They tested dry at the time of the inspection.
- Evidence of past leaking was noted.
- Water spot was tested by moisture meter, and read dry.



Water stain on ceiling. Check with moisture meter and area was dry.

Bedroom 2

1. Locations

Locations: Upstairs rear left.

2. Cabinets

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

3. Ceiling Fans

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Operated normally when tested, at time of inspection.

4. Closets

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- The closet is in serviceable condition.

5. Doors

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

6. Electrical

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Some outlets not accessible due to furniture and or stored personal items.

7. Floor Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Flooring Types: Carpet is noted.

8. Smoke Detectors

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

9. Wall Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Materials: Drywall walls noted.

10. Window Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
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				X
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Materials: Vinyl framed double hung window noted.
Observations:

- Window blocked by furniture.



Window blocked by Items. Unable to check.

11. Ceiling Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
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X				
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Materials: There are drywall ceilings noted.



Master Bathroom

Bathrooms can consist of many features from jacuzzi tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring..

1. Location

Locations: Upstairs in Master bedroom.

2. Cabinets

Accept able	Monito r	None	Repair/ Replac e	No Access
			X	

Observations:

- Cabinet doors missing knobs or handles.

3. Ceiling Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Materials: There are drywall ceilings noted.

4. Counters

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Solid Surface tops noted.

5. Doors

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- No major system safety or function concerns noted at time of inspection.

6. Electrical

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

7. GFCI

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- **GFCI** in place and operational

8. Exhaust Fan

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- The bath fan was operated and no issues were found.

9. Floor Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
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Materials: Floating laminate type flooring noted.

X				
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10. Heating

Accept able	Monito r	None	Repair/ Replac e	No Access
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Observations:

- Central heating and cooling noted in this room. At the time of the inspection, all appeared to be functioning and in serviceable condition.

X				
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11. Plumbing

Accept able	Monito r	None	Repair/ Replac e	No Access
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X				
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12. Showers

Accept able	Monito r	None	Repair/ Replac e	No Access
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X				
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13. Shower Walls

Accept able	Monito r	None	Repair/ Replac e	No Access
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Observations:

- Fiberglass surround noted.

X				
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14. Bath Tubs

Accept able	Monito r	None	Repair/ Replac e	No Access
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Observations:

- Tub

X				
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15. Enclosure

Accept able	Monito r	None	Repair/ Replac e	No Access
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		X		
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16. Sinks

Accept able	Monito r	None	Repair/ Replac e	No Access
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X				
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17. Toilets

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

Observations:

- Observed as functional and in good visual condition.

X				
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18. Window Condition

Acceptable Monitor None Repair/Replace No Access

		X		
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1/2 Bath

1. Locations

Locations: Main floor off of kitchen.

2. Cabinets

Accept able	Monito r	None	Repair/ Replac e	No Access
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Observations:

- No knobs or handles on cabinet door.

X				
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3. Ceiling Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
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Materials: There are drywall ceilings noted.

X				
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4. Counters

Accept able	Monito r	None	Repair/ Replac e	No Access
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Observations:

- Solid Surface tops noted.

X				
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5. Doors

Accept able	Monito r	None	Repair/ Replac e	No Access
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Observations:

- No major system safety or function concerns noted at time of inspection.

X				
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6. Electrical

Accept able	Monito r	None	Repair/ Replac e	No Access
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Observations:

- No major system safety or function concerns noted at time of inspection.

X				
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7. GFCI

Accept able	Monito r	None	Repair/ Replac e	No Access
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Observations:

- GFCI in place and operational

X				
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8. Exhaust Fan

Accept able	Monito r	None	Repair/ Replac e	No Access
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Observations:

- The bath fan was operated and no issues were found.

X				
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9. Floor Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
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Materials: Floating laminate type flooring noted.

X				
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10. Heating

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Central heating and cooling noted in this room. At the time of the inspection, all appeared to be functioning and in serviceable condition.

11. Plumbing

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

12. Sinks

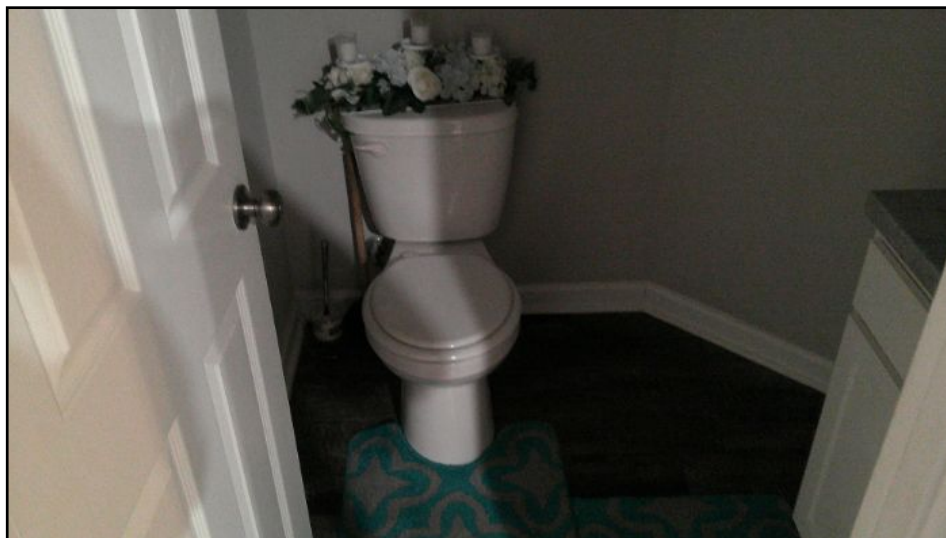
Accept able	Monito r	None	Repair/ Replac e	No Access
X				

13. Toilets

Accept able	Monito r	None	Repair/ Replac e	No Access
			X	

Observations:

- Toilet seat cover loose; recommend tightening.



Seat loose. Needs to be tightened.

14. Window Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

Bathroom 2

1. Locations

Locations: Jack and Jill bathroom located upstairs between bedroom 2 and bedroom 3.

2. Cabinets

Accept able	Monito r	None	Repair/ Replac e	No Access
			X	

Observations:

- No knobs or handles on cabinet doors.

3. Ceiling Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Materials: There are drywall ceilings noted.

4. Counters

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

Observations:

- Solid Surface tops noted.

5. Doors

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- No major system safety or function concerns noted at time of inspection.

6. Electrical

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- No major system safety or function concerns noted at time of inspection.

7. GFCI

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- GFCI in place and operational

8. Exhaust Fan

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- The bath fan was operated and no issues were found.

9. Floor Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Materials: Floating laminate type flooring noted.

10. Heating

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Central heating and cooling noted in this room. At the time of the inspection, all appeared to be functioning and in serviceable condition.

11. Plumbing

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

12. Showers

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- functional

13. Shower Walls

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Plastic tub/shower surround noted.

14. Bath Tubs

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Tub

15. Enclosure

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- The shower enclosure was functional at the time of the inspection.

16. Sinks

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

17. Toilets

Accept able	Monito r	None	Repair/ Replac e	No Access
			X	

Observations:

- Toilet seat cover loose; recommend tightening.



Toilet seat needs to be tightened.

18. Window Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		



Kitchen

The kitchen is used for food preparation and often for entertainment. Kitchens typically include a stove, dishwasher, sink and other appliances.

1. Cabinets

Accept able	Monito r	None	Repair/ Replac e	No Access
			X	

Observations:

- Cabinet doors missing knobs, consult with seller on repair/ replacement options.
- Drawer next to fridge crooked.
- Drawer next to refrigerator is crooked.



Cabinet drawer next to fridge is in crooked.

2. Counters

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Solid Surface tops noted.
- No discrepancies noted.

3. Dishwasher

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Dishwasher was operational at the time of inspection. Dishwashers most commonly fail internally at the pump, motor or seals. We do not disassemble these units to inspect these components. We recommend you operate this unit prior to closing.

4. Doors

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

5. Garbage Disposal

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Operated - appeared functional at time of inspection.

6. Microwave

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Built-in microwave ovens are tested using normal operating controls. Unit was tested and appeared to be serviceable at time of inspection. Leak and/or efficiency testing is beyond the scope of this inspection. If concerned, client should seek further review by qualified technician prior to closing.

7. Cook top condition

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Electric cook top noted.
- All heating elements operated when tested.

8. Oven & Range

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Oven(s): Electric
- All heating elements operated when tested.

9. Sinks

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- No deficiencies observed.

10. Trash Compactor

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Functioned and operated normally when tested.

11. Vent Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Materials: Recirculating**12. Window Condition**

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

13. Floor Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Materials: Floating laminate type flooring noted.**14. Plumbing**

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

15. Ceiling Condition

Acceptable	Monitor	None	Repair/Replace	No Access
X				

Materials: There are drywall ceilings noted.

16. Patio Doors

Acceptable	Monitor	None	Repair/Replace	No Access
		X		

17. Screen Doors

Acceptable	Monitor	None	Repair/Replace	No Access
		X		

18. Electrical

Acceptable	Monitor	None	Repair/Replace	No Access
X				

Observations:

- No major system safety or function concerns noted at time of inspection.
- Outlets under kitchen sink should be GFCI in case of water contact.
- Refrigerator lite is not working.



Outlets under kitchen sink need to be changed to a GFCI outlet.



Refrigerator light is out.

19. GFCI

Acceptable	Monitor	None	Repair/Replace	No Access
X				

Observations:

- GFCI in place and operational.
- No GFCI protection present under kitchen sink, suggest installing GFCI protected receptacles for safety.

20. Wall Condition

Acceptable	Monitor	None	Repair/Replace	No Access
X				

Materials: Drywall walls noted.



Laundry

1. Locations

Locations: Upstairs in Den/Office area.

2. Cabinets

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

3. Counters

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

4. Dryer Vent

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

5. Electrical

Accept able	Monito r	None	Repair/ Replac e	No Access
			X	

Observations:

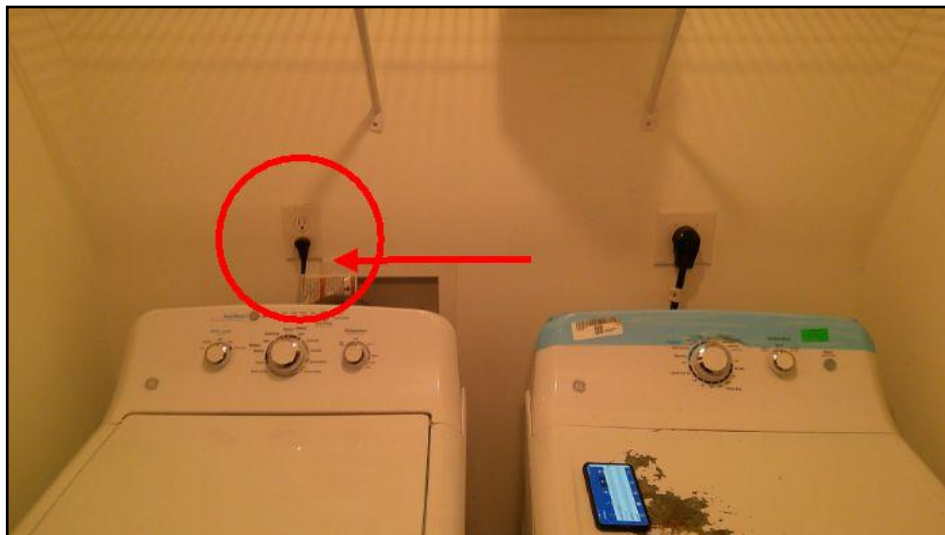
- GFCI outlets should be used in laundry room.

6. GFCI

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

Observations:

- The laundry receptacle should be GFCI protected type.



Laundry room should have a GFCI outlet.

7. Exhaust Fan

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

8. Wash Basin

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

9. Floor Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Materials: Floating laminate type flooring noted.

10. Plumbing

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

11. Wall Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Materials: Drywall walls noted.

12. Ceiling Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Materials: There are drywall ceilings noted.

13. Doors

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

14. Window Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		



Water Heater

1. Type

Acceptable Monitor None Repair/Replace No Access

Observations:

- Electric

X				
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2. Base

Acceptable Monitor None Repair/Replace No Access

Observations:

- The water heater base is functional.

X				
---	--	--	--	--

3. Combustion

Acceptable Monitor None Repair/Replace No Access

		X		
--	--	---	--	--

4. Venting

Acceptable Monitor None Repair/Replace No Access

		X		
--	--	---	--	--

5. Water Heater Condition

Acceptable Monitor None Repair/Replace No Access

Heater Type: Electric

Location: The heater is located in the garage.

Observations:

- Tank appears to be in satisfactory condition -- no concerns.

X				
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6. TPRV

Acceptable Monitor None Repair/Replace No Access

X				
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7. Number Of Gallons

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

X				
---	--	--	--	--

Observations:

- 50 gallons

8. Gas Valve

Accept able	Monito r	None	Repair/ Replac e	No Access
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		X		
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9. Plumbing

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

X				
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Materials: Copper**Observations:**

- No deficiencies observed at the visible portions of the supply piping.

10. Overflow Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

X				
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Materials: PVC



Electrical

This report describes the amperage and voltage rating of the service, the location of the main disconnect and any sub panel(s), the presence of solid conductor aluminum branch circuit wiring, the presence or absence of smoke detectors and wiring methods. Inspectors are required to inspect the viewable portions of the service drop from the utility to the house, the service entrance conductors, cables and raceways, the service equipment and main disconnects, the service grounding, the interior components of the service panels and sub panels, the conductors, the over-current protection devices (fuses or breakers), ground fault circuit interrupters and a representative number of installed lighting fixtures, switches and receptacles. All issues or concerns listed in this Electrical section should be construed as current and a potential personal safety or fire hazard. Repairs should be a priority, and should be made by a qualified, licensed electrician.

1. Electrical Panel

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

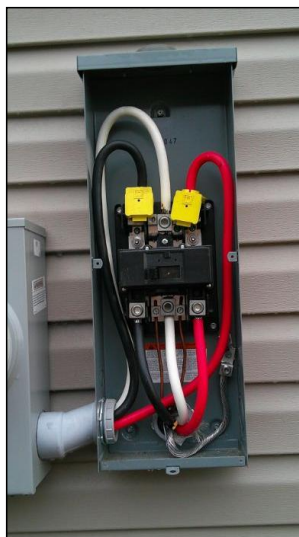
Location: Panel box located in garage.

Observations:

- No major system safety or function concerns noted at time of inspection at main panel box.
- Main cutoff on rightside exterior of home.
- **Electrical panel should not have anything in front of it.**



Main Electrical Shutoff.



Main Electrical shutoff



Items are not to be placed in front of Electrical panel.



2. Cable Feeds

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- There is an underground service lateral noted.

3. Breakers

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- All of the circuit breakers appeared serviceable.

4. Fuses

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		



Roof

1. Roof Condition

Acceptable Monitor None Repair/Replace No Access

X				
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Materials: Visually accessible from ground.

Materials: Asphalt shingles noted.

Observations:

- No major system safety or function concerns noted at time of inspection.

2. Flashing

Acceptable Monitor None Repair/Replace No Access

X				
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3. Chimney

Acceptable Monitor None Repair/Replace No Access

		X		
--	--	---	--	--

4. Sky Lights

Acceptable Monitor None Repair/Replace No Access

		X		
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5. Vent Caps

Acceptable Monitor None Repair/Replace No Access

X				
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6. Gutter

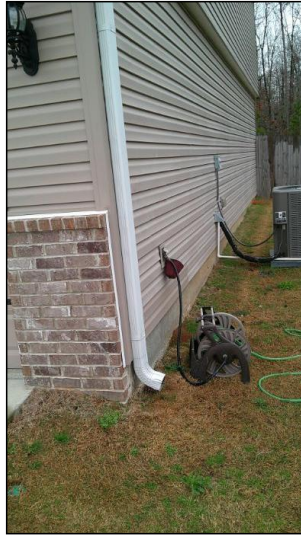
Acceptable Monitor None Repair/Replace No Access

			X	
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Observations:

- No major system safety or function concerns noted at time of inspection.

- Down spout on right side of house should extend at least 3 feet from home, so water does not seep into foundation.



Front right side of home gutter spout should have an extension on it to prevent water from getting under the house.



Attic 1

This report describes the method used to inspect any accessible attics; and describes the insulation and vapor retarders used in unfinished spaces when readily accessible and the absence of insulation in unfinished spaces at conditioned surfaces. Inspectors are required to inspect insulation and vapor retarders in unfinished spaces when accessible and passive/mechanical ventilation of attic areas, if present.

1. Access

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Pull Down Ladder located in:
- Attic light located just inside access.



2. Insulation Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Materials: Blown in fiberglass insulation noted.

Depth: Insulation averages about 12-14 inches in depth



3. Structure

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

4. Ventilation

Accept able	Monito r	None	Repair/ Replac e	No Access
			X	

Observations:

- Under eave soffit inlet vents noted.
- Soffit vent baffles should be bigger for proper ventlation in attic.

5. Vent Screens

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

6. Duct Work

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Functional.

7. Electrical

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Most areas not accessible due to insulation.

8. Exhaust Vent

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

9. Attic Plumbing

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		



Foundation

This report describes the foundation, floor, wall, ceiling and roof structures and the method used to inspect any accessible under floor crawlspace areas. Inspectors inspect and probe the structural components of the home, including the foundation and framing, where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not done when doing so will damage finished surfaces or when no deterioration is visible or presumed to exist. Inspectors are not required to offer an opinion as to the structural adequacy of any structural systems or components or provide architectural services or an engineering or structural analysis of any kind. Despite all efforts, it is impossible for a home inspection to provide any guaranty that the foundation, and the overall structure and structural elements of the building is sound.

1. Slab Foundation

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

				X
--	--	--	--	---

Observations:

- Concrete slab not visible due to floor coverings.

2. Foundation Perimeter

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

				X
--	--	--	--	---

Observations:

- No deficiencies were observed at the visible portions of the structural components of the home.

3. Foundation Walls

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

			X	
--	--	--	---	--

Observations:

- No deficiencies were observed at the visible portions of the structural components of the home.

4. Cripple Walls

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

		X		
--	--	---	--	--

5. Ventilation

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

		X		
--	--	---	--	--

6. Vent Screens

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

		X		
--	--	---	--	--

7. Access Panel

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

		X		
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8. Post and Girders

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

		X		
--	--	---	--	--

9. Sub Flooring

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

				X
--	--	--	--	---

10. Anchor Bolts

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

				X
--	--	--	--	---

Observations:

- The anchor bolts were not visible.

11. Foundation Electrical

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

				X
--	--	--	--	---

12. Foundation Plumbing

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

				X
--	--	--	--	---

Electrical

1. Service Drop

Accept
able

Monito
r

None

Repair/
Replac
e

No
Access

		X		
--	--	---	--	--

Amperage 200 Amp
Unable to confirm due to Electrical is underground
Observations:
• Located at Right side of Residence.
• GFCI outlet on right side of house next to the A/C Unit not working properly.

Fuel Source

1. Type

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

Heat Pump

1. Type

Accept
able

Monito
r

None

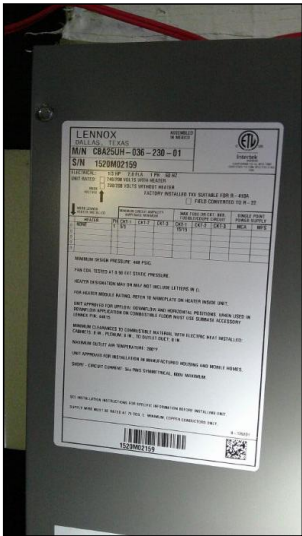
Repair/
Replac
e

No
Access

Observations:

• Electric

X				
---	--	--	--	--



Located in attic.

AC

1. Exterior

Acceptable Monitor None Repair/Replace No Access

X				
---	--	--	--	--



A/C Unit shutoff.



Grounds

1. Driveway

Acceptable Monitor None Repair/Replace No Access

Materials: Concrete Driveway

X				
---	--	--	--	--

2. Walkway

Acceptable Monitor None Repair/Replace No Access

Materials: Concrete Walkway

X				
---	--	--	--	--

3. Stairs

Acceptable Monitor None Repair/Replace No Access

		X		
--	--	---	--	--

4. Grading

Acceptable Monitor None Repair/Replace No Access

Observations:

- Ground cover flows away from house.

X				
---	--	--	--	--

5. Vegetation

Acceptable Monitor None Repair/Replace No Access

Observations:

- Possible ant hill against house. Has a Pest Control Expert to evaluate.

X	X			
---	---	--	--	--



Possible ant hill. Have a Pest Control person check and make suggestions.

6. Hose Bib

Acceptable Monitor None Repair/Replace No Access

Observations:

- Hose bib works
- Located on left side of house.
- Located on right side of house.
- Located at rear of house.

X				
---	--	--	--	--

7. Plumbing

Accept able	Monito r	None	Repair/ Replac e	No Access
			X	

Materials: Cover on drain pipe to sewer is broken. Recommend it be replaced.

Home Exterior

1. Doors

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Observations:

- Corner Siding on right side rear of house is coming away from home. Have qualified person to check and fix.

2. Window Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

3. Siding Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

Materials: Vinyl siding noted.

Observations:

- Bad patch job on rear right side of home.



Corner siding pulling away from house. Qualified person to check and make recommendations.

Rear right side corner has a bad patch job done. Have a qualified person check and make recommendations.

4. Eaves & Facia

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

5. Exterior Paint

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

6. Stucco

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

7. Electrical

Acceptable	Monitor	None	Repair/Replace	No Access
			X	



Outlet box on right side of home next to A/C Unit will not reset (GFCI). Have an Electrician check, and replace.

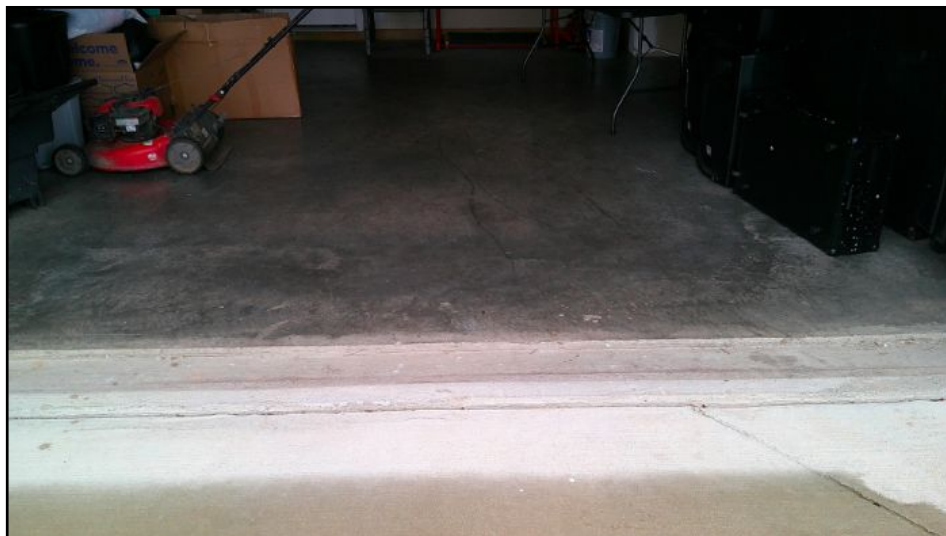
Garage

1. Walls

Accept able	Monito r	None	Repair/ Replac e	No Access
	X			

Observations:

- Lip at front of garage. Possible trip hazard.



Floor has lip at front of garage. Possible trip hazard.

2. Anchor Bolts

Accept able	Monito r	None	Repair/ Replac e	No Access
	X			

Observations:

- The anchor bolts were not visible.

3. Rafters & Ceiling

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

4. Electrical

Accept able	Monito r	None	Repair/ Replac e	No Access
X				

5. Exterior Door

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

6. Fire Door

Accept able	Monito r	None	Repair/ Replac e	No Access
		X		

7. Garage Door Condition

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

X				
---	--	--	--	--

Materials: Roll-up door noted.

Observations:

- No deficiencies observed.

8. Garage Opener Status

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

X				
---	--	--	--	--

Observations:

- Chain drive opener noted.

9. Garage Door's Reverse Status

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

X				
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Observations:

- Eye beam system present and operating.

10. Floors

Materials: Poured concrete floor.

Dinning Room

1. Electrical

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

X				
---	--	--	--	--

2. Windows

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

		X		
--	--	---	--	--

3. Ceiling

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

X				
---	--	--	--	--

4. Walls

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

X				
---	--	--	--	--

5. Floor

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

X				
---	--	--	--	--

6. Cabinets

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

		X		
--	--	---	--	--

7. Sliding Doors

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

X				
---	--	--	--	--

Family Room

1. Electrical

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

X				
---	--	--	--	--



Light in front hallway should be raised. A tall person will hit it when walking by.

2. Windows

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

X				
---	--	--	--	--

3. Ceiling

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

X				
---	--	--	--	--

4. Walls

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

X				
---	--	--	--	--

5. Floor

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

X				
---	--	--	--	--

6. Cabinets

Accept able	Monito r	None	Repair/ Replac e	No Access
----------------	-------------	------	------------------------	--------------

		X		
--	--	---	--	--



Glossary

Term	Definition
A/C	Abbreviation for air conditioner and air conditioning
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.